



Town Cottage Guidelines

WHAT IS A TOWN COTTAGE?

A Town Cottage is a single storey character home on an easy to maintain allotment built in a traditional style reminiscent of Adelaide's early suburbs. Town Cottage allotments at Boardwalk are identified with a "TC" symbol on the Building Envelope Plan.

At Boardwalk lots are available to suit both a double fronted (average 11.6 metres wide lot) and smaller single fronted cottage (8.5 metres wide lot). Both house sizes promote a friendly streetscape with front verandahs that encourage street interaction.

All Town Cottages, regardless of the size are designed with authentic detailing on the front of the home that delivers the character loved in this style of home.



MATERIALS AND COLOURS

The external colours and materials of your Town Cottage should clearly reflect the character of this traditional housing style.

The front walls of your home should be built using at least one of the following materials:

- Sandstone with feature mortar
- Bluestone or slate with feature mortar
- Feature red clay brick
- Painted render finish
- Painted feature weatherboard

Town Cottages can have the side and rear walls that are not visible from a public street constructed from standard clay bricks, rendered masonry or lightweight construction.

Alternative textures and material colours will be considered on merit. A full schedule of materials and selected colours should be included as part of your application.

ROOF FORM, PITCH AND CEILING HEIGHTS

Town Cottages must provide a minimum roof pitch of 27 degrees for the main roof, with higher roof pitches encouraged. Any roof not visible from the street may be reduced to a minimum of 22.5 degrees.

Town Cottages at Boardwalk have a minimum internal floor to ceiling height of 2.7 metres to the ground floor. This ceiling height allows for the installation of ceiling fans and will provide your home with a feeling of spaciousness typical to this style of home.

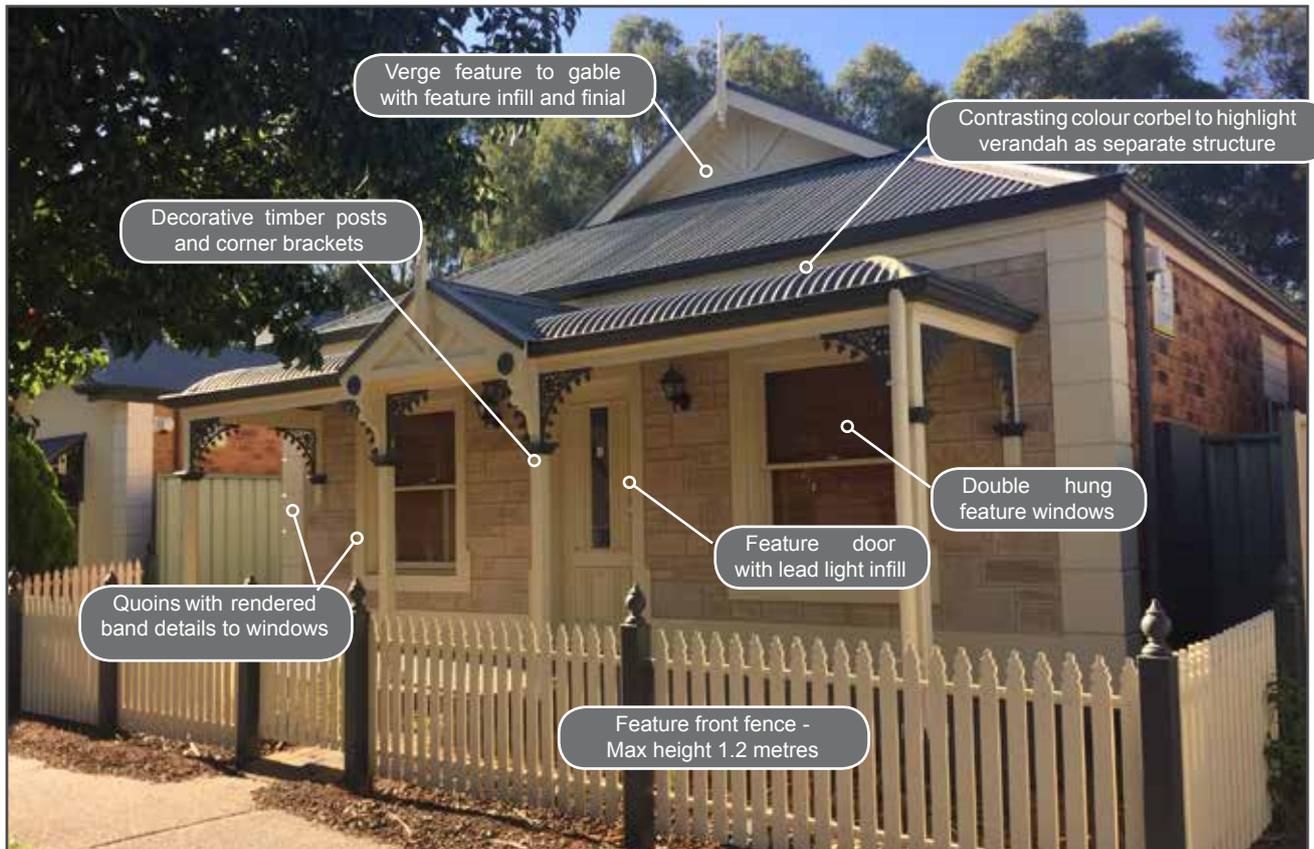


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DETAILING IN AN AUTHENTIC STYLE

Both single and double fronted Town Cottages should incorporate a combination of the following details to the front of your home:

- 90mm x 90mm decorative timber posts (chamfered, fluted or turned)
- Feature front verandah
- Decorative post shoes and post trims and decorative corner brackets to verandah posts
- Use of quoins to the side wall and bands around the front windows and door
- 300mm verge to gable with feature infill and finial detail
- Round down pipes should be used in a colour to blend with the house in a location that minimises the visual impact
- “D” type, “OG” or “half round” guttering should be used to the front facade
- Double hung windows should be used to the front of the home
- Window hoods, awnings and shading devices should be used where windows are not covered by the verandah
- Feature front door with lead light infill, highlight or side light glass panel
- Traditional coach style outdoor lighting
- Separate the roof structure of the verandah from the roof of the main house. One way of achieving this is through a contrasting colour corbel
- Front character fence to a maximum height of 1.2 metres





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VERANDAHS

All Town Cottages should provide a clear and visible entry to define the front door and provide shelter for people entering the house through the use of a covered verandah.

- There are a range of verandah styles that are typical to this form of housing. Verandahs for double fronted designs should be a minimum of 4 metres wide and 1.5 metres deep with a total area of 6m².
- Typically single fronted cottage designs should have the verandah extend across the width of the frontage.
- Verandahs should typically be built with a separate roof line to the main house. Alternative roof lines that are in keeping with the traditional style may be considered on architectural merit.
- The verandah roof should be separated from the main roof by a minimum of 240mm to allow room for a corbel detail. We encourage the corbel to be constructed through a projecting brick course or in a colour band that contrasts with the roof of the home and verandah.
- A maximum clearance between the verandah floor and fascia should be provided of 1.95 metres.
- The finish of the verandah floor should be to a minimum standard of smooth coloured concrete or decorative tiles. Plain concrete will generally not be accepted as the final finish to the verandah floor.



A tiled feature verandah floor will contribute to the sense of arrival and character of the front of your home.

CORNER ALLOTMENTS

For all Town Cottages located on a corner block the materials and features used on the front of the home should be used where the wall is highly visible from the side street to create a corner address.

- A corner address can be achieved by wrapping the main material around the corner and including feature windows or the front door on the corner address.
- Return verandahs that wrap around a corner will be considered with a reduced width of 1.2 metres if the total area of the verandah is a minimum of 8m².
- Solid side fencing should return to the edge of the house in a position that allows the corner to be completely exposed to public view.



Town Cottages typically have a wrap around verandah that can incorporate the front door on some designs.



Alternatively a window feature to the corner is required with the return verandah to address the corner requirement.



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WINDOWS

Feature windows provided on each room located at the front of your home should be traditional in style and provide interest to the home to deliver the cottage character.

- Town Cottage windows where visible from a public street or reserve should be a timber double hung style.
- Typically we suggest a single window be used on a single fronted cottage and identical symmetrical windows either side of the front door on a double fronted cottage.
- Remaining windows to the side and rear of the house can be aluminium awning or sliding to suit your preference.
- Different styles of windows will be considered on merit but should still achieve a balance to the front of your home and be respectful of this traditional style.
- Where windows are not protected by a front verandah, a window hood or awning should be used. The design should complement the style of your home.



A single fronted cottage, should typically present a single window to the front facade to retain a sense of balance to the front of the home.



CARPORTS AND GARAGES

The main house should be the dominant feature when viewed from the street with the carport/garage a secondary element.

- Off-street parking should be provided for a minimum of two vehicles, with one undercover.
- Carports and garages should be positioned at least 1 metre behind the main building line and setback from the front property boundary a minimum of 5.5 metres to provide for a visitor space.
- Free standing carports attached to the side wall, should incorporate a maximum 2.5 metre fascia height.
- Open carports will be supported however if you wish to add a roller door to the front of the carport the style of door should complement the main building.
- Garage designs that are contained under the main roof will be considered. The garage should not be designed or positioned to interrupt the symmetry required of all cottage designs.
- Your carport or garage should incorporate feature pillars or substantial posts to each side of the door opening to complement the main dwelling or verandah detail.



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PRIVATE GARDEN SPACE

The outdoor area surrounding your home should provide for a variety of uses, such as entertaining, parking, entrance courts, garden and service areas.

We encourage you to consider your selection of plants, as your garden will contribute to the overall character of your home.

- Both Double and Single Fronted Town Cottage allotments should typically provide a minimum private area of 24m² with a minimum dimension of 3 metres that connects to the main living area of your home.



FRONT DOORS

It is important to achieve a sense of arrival and create an indoor hallway which is light and bright.

This should be achieved by incorporating one of the following details:

- A feature side light and/or a high light glass feature.
- A moulded solid timber door that incorporates lead light or decorative glass insert panels.

FRONT FENCING & LETTER BOXES

Front fencing is a mandatory requirement on all Town Cottage allotments and should be built in a style that reflects the traditional house style. The fence around your home and those of your neighbours will affect the overall appearance of the street.

- The front fence should be a maximum of 1.2 metres high to promote surveillance into the street and may incorporate a feature entry gate.

For a Town Cottage; suitable fence treatments include:

- Timber picket
- Woven wire and feature posts
- Stone wall
- Plinth and column with feature tubular metal infill

Details of your chosen fencing should be included as part of your application. Alternative styles and materials will be considered on their merits.

- When selecting your fence you should also select a letter box that can be incorporated into your fence design.
- Your front fence should be completed prior to moving into your home.

